



**City of Cranston**  
**Zoning Board of Review**  
*April 10, 2024*

**Chairman of the Board**  
Christopher E. Buonanno

**Members**

Joy Montanaro (Vice-Chair)

Ivy Swinski

Dean Perdikakis

Carlos Zambrano

Vacant (1<sup>st</sup> Alternate)

Vacant (2<sup>nd</sup> Alternate)

Frank Corrao III (3<sup>rd</sup> Alternate)

Vacant (4<sup>th</sup> Alternate)

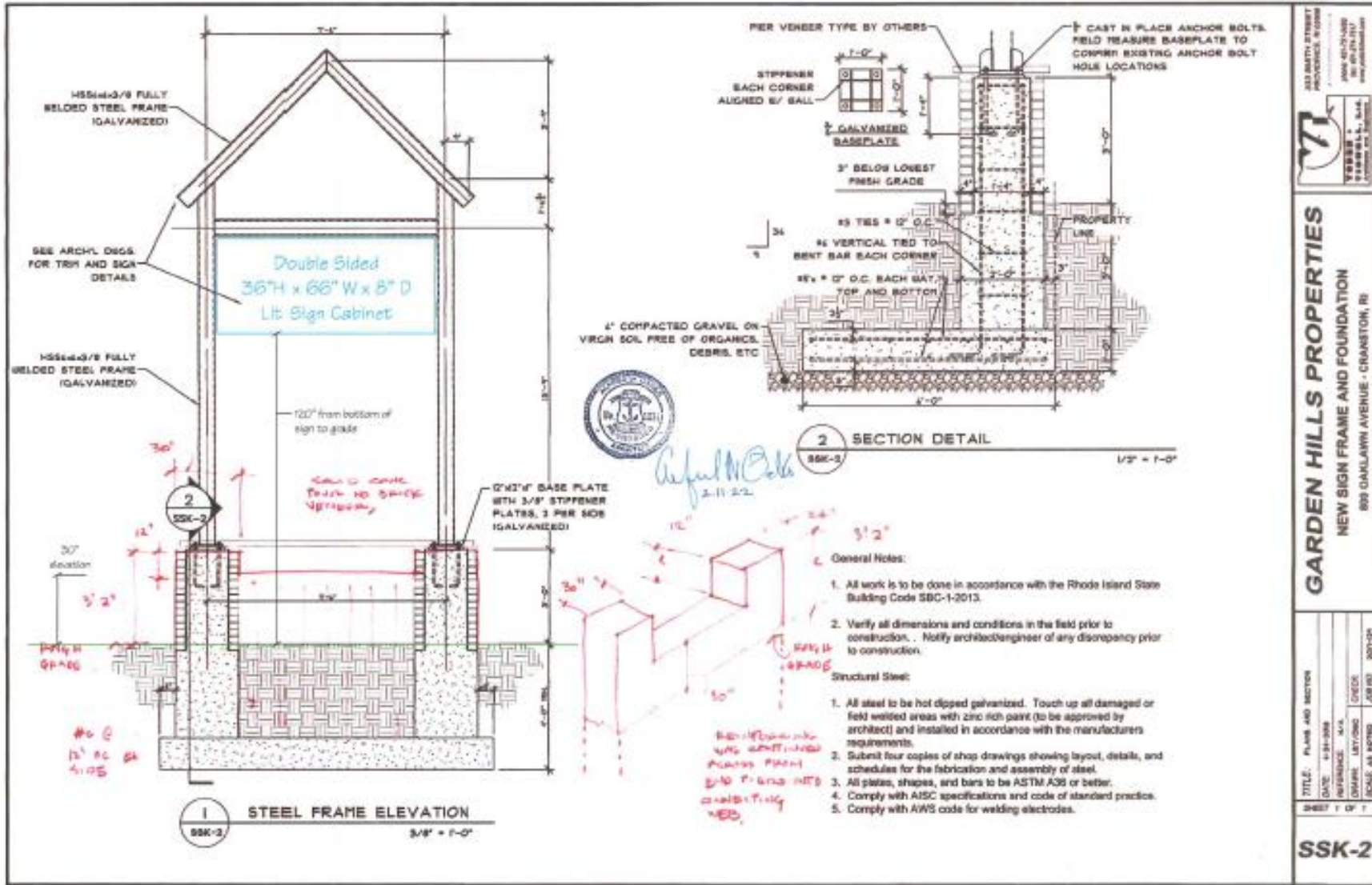
► **Ward 6**

► **DOMAIN REALTY, LLC (OWN/APP)** has applied to the Board to construct a new free-standing sign within the required setbacks from the street(s) and within the area required as to not impede corner visibility; and to waive the required Development Review Process for the site at **846 Oaklawn Avenue**, A.P. 15, lot 361; area 15,490 s.f. zoned C3. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.100(A)- Corner Visibility; 17.72.010- Signs; 17.84, et seq- Development Plan Review.

► Application filed 7/06/2023. Joseph P. Carnevale, Esq.







300 BATHY STREET  
PROVIDENCE, RI 02903  
4046-467-7400  
800-467-7400  
www.aathrifty.com

**AA Thrifty**  
SIGN & AWNING

**GARDEN HILLS PROPERTIES**  
NEW SIGN FRAME AND FOUNDATION  
800 GARLAWN AVENUE - CRANSTON, RI

TITLE:	PLAN AND SECTION
DATE:	6-21-2022
REFERENCE:	S.A.
OWNER:	LETICIA G. CRICK
SCALE:	AS NOTED
JOB NO:	2022-09

**SSK-2**

No Scale

JOB: 2022  
Garden Hills

LOCATION:  
846 Oaklawn Ave., Cranston, RI

FILE:  
C-846oaklawn

DATE:  
3/1/22

REVISED:  
X

PROJECT MANAGER:  
Kevin F

DESIGNED BY:  
JSR

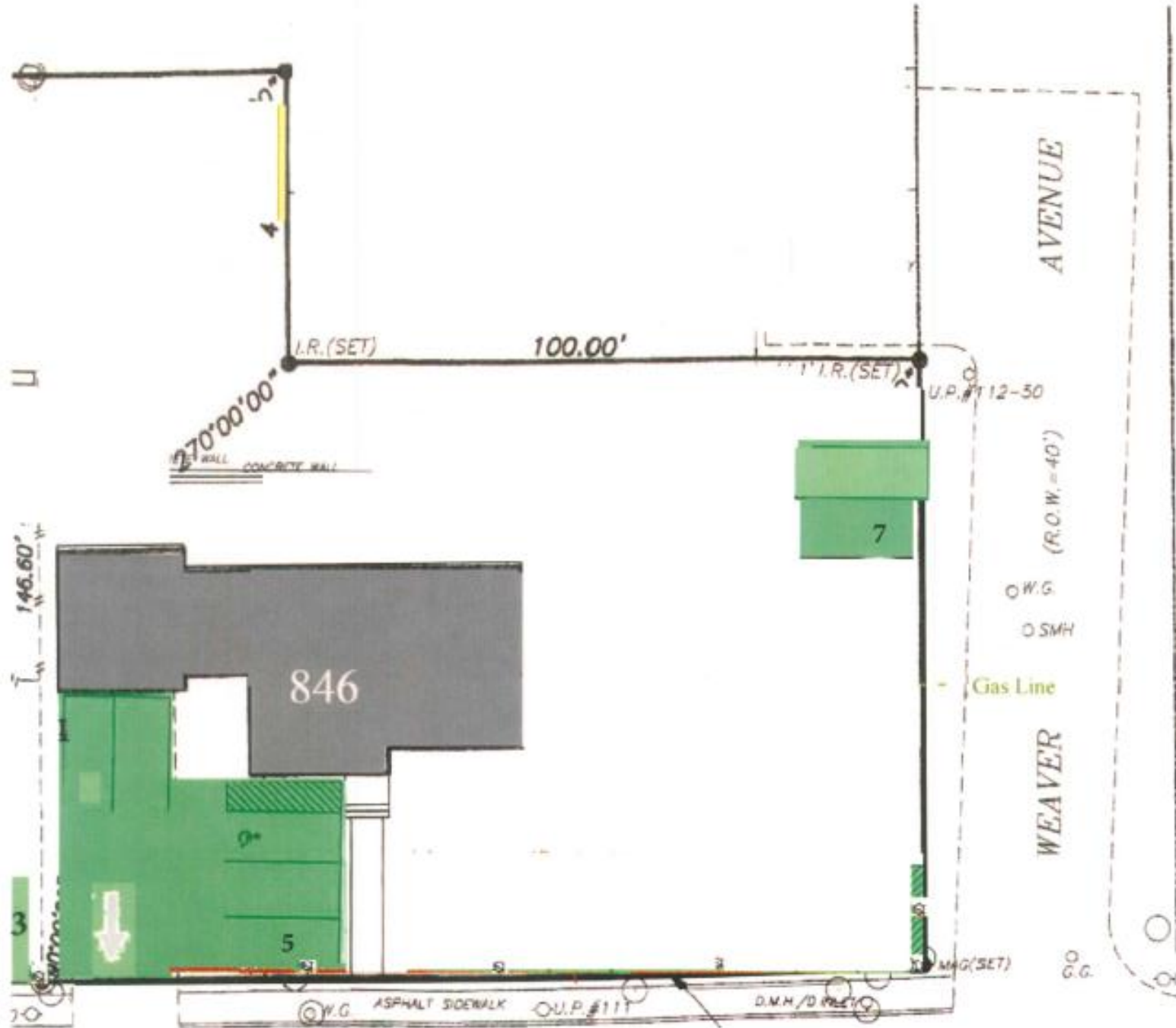
CLIENT APPROVAL: \_\_\_\_\_ Date: \_\_\_\_\_

**NOTICE TO CLIENT**  
This drawing is a representation of how your signage will appear. By signing this drawing you are accepting the design as it is presented on this page.



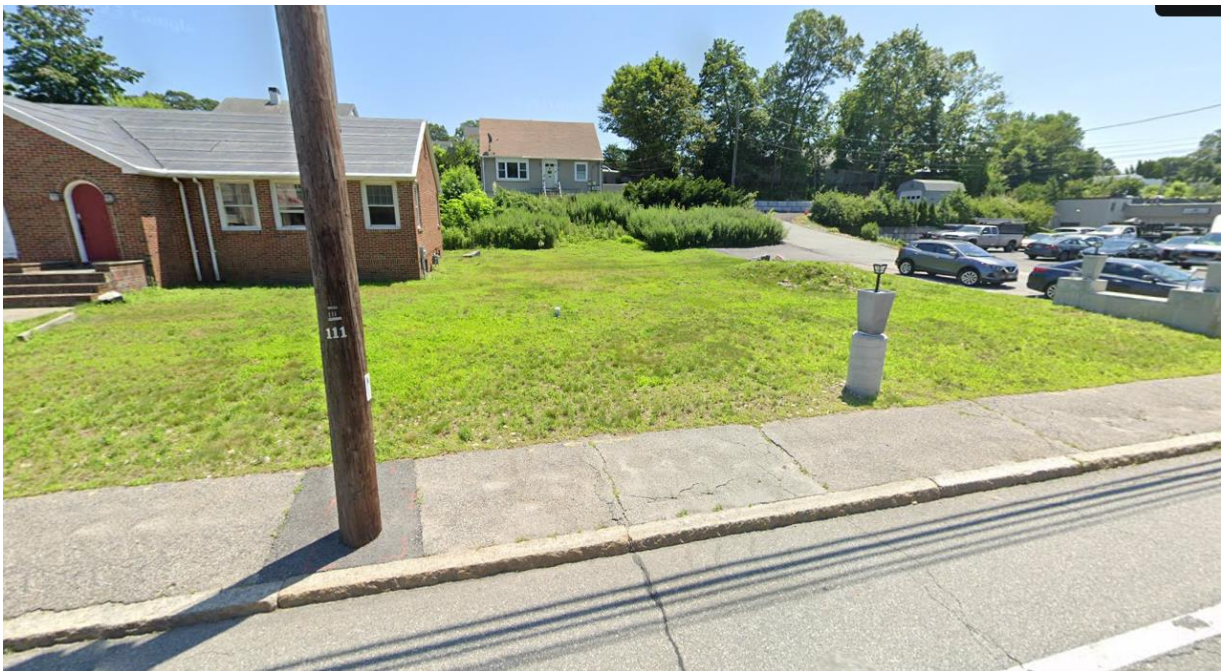
221 Jefferson Boulevard, Warwick, RI  
401-736-8055 | 401-718-8314  
www.aathrifty.com





Parking needed: Mercantile 1 per 300 = 5 (1,320 sq ft Mercantile)







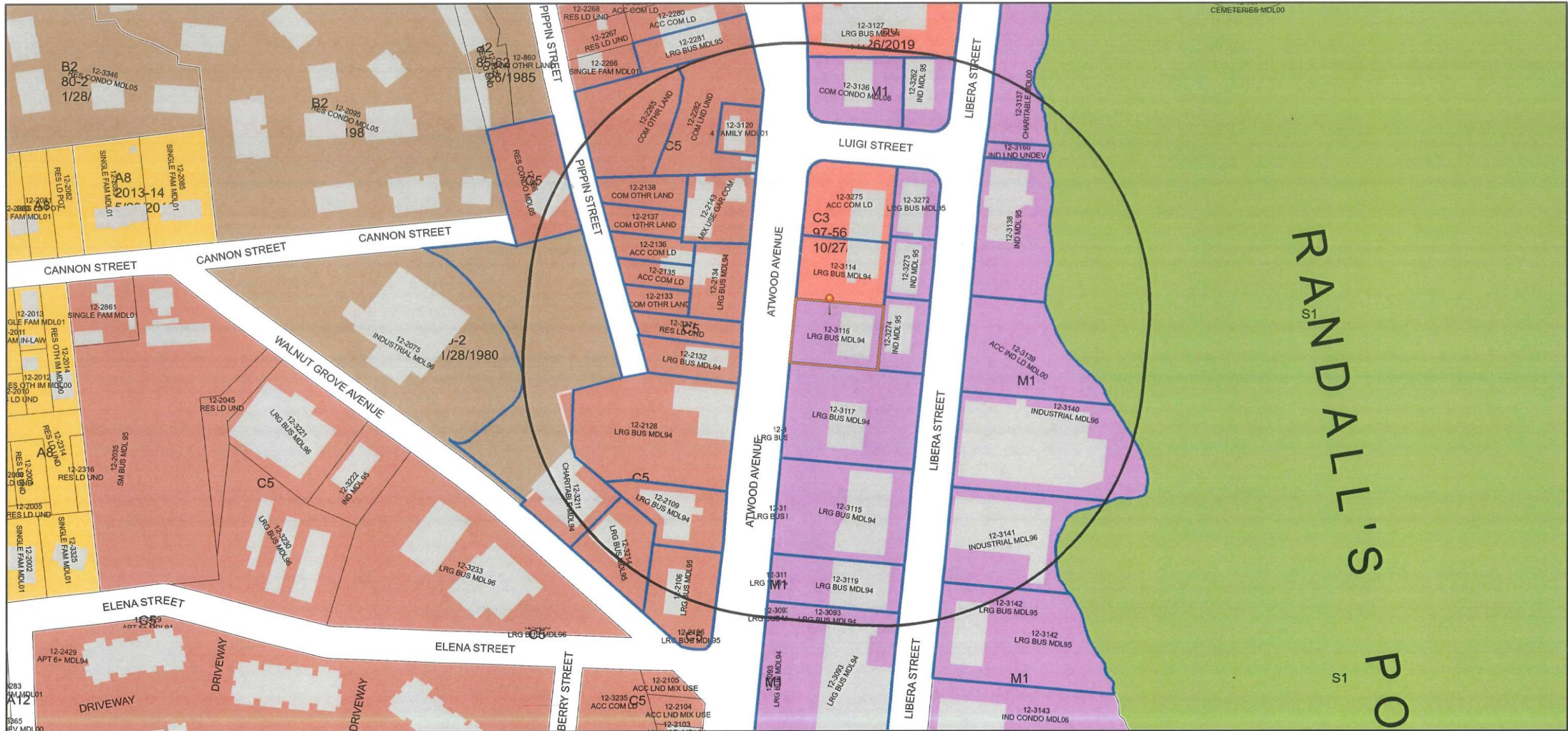
► **Ward 5**

► **495 INVESTMENTS, LLC (OWN/APP)** has filed an application to request permission to allow barber shop, beauty salon / body art / day spa uses in an existing building zoned industrial at **495 Atwood Avenue**, A.P. 12, lot 3116; area 13,300 sf. zoned M1. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.030- Schedule of Uses.

► Application filed 2/14/2024. Joseph Shekarchi, Esq.

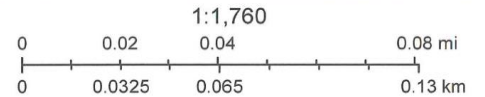


# 495 Atwood Ave 400' Radius Plat 12 Lot 3116



12/12/2023, 8:57:14 AM

- |                            |                           |     |    |       |
|----------------------------|---------------------------|-----|----|-------|
| Selected Parcels in Buffer | Parcels                   | A80 | B2 | M1    |
| SelectedParcels            | Buildings                 | A20 | C1 | M2    |
| Parcels In Buffer          | Zoning Dimensions         | A12 | C2 | EI    |
| Parcel ID Labels           | Historic Overlay District | A8  | C3 | MPD   |
| Streets Names              | <b>Zoning</b>             | A6  | C4 | S1    |
| — Cranston Boundary        | none                      | B1  | C5 | Other |



City of Cranston



PLOT CREATED: 11/13/2023 11:50:07 AM



**GENERAL NOTES: DEMOLITION**

- ALL DIRECTION TO REMOVE AND LEGALLY DISPOSE OF ANY ITEM AND ALL OF ITS ASSOCIATED PARTS IN ITS ENTIRETY, IS NOTED BY THE USE OF ANY OF THE FOLLOWING LANGUAGE: "REMOVE", "REMOVE AND DISPOSE", "R/D", "DEMOLISH", "DEM", "DEM'D".
- DEMOLITION SCOPE IS DESCRIBED THROUGHOUT THE DOCUMENT SET. SELECTIVE DEMOLITION FOR PIPE, DUCT, AND OTHER MEP OR STRUCTURAL PENETRATIONS ARE TO BE PROVIDED AND OVER-DEMOLISH AS REQUIRED TO PROPERLY INSTALL NEW WORK.
- DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES AND MAY NOT SHOW ALL DEMOLITION WORK REQUIRED TO COMPLETE THE CONTRACT WORK.
- REMOVE ALL UNNECESSARY/ABANDONED IN PLACE/ OR EXTRANEOUS M.E.P./FP SYSTEMS WORK. GC TO VERIFY.
- THE GENERAL CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REMOVING ALL EXISTING MATERIALS WHICH WOULD OTHERWISE INTERFERE WITH THE PROPER INSTALLATION OR FUNCTION OF THE NEW WORK.
- PROTECT EXISTING TO REMAIN AREAS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES. PATCH & REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION OR DEMOLITION ACTIVITIES.
- WALLS: PREPARE ALL EXISTING WALL SURFACES, NO EXCEPTION, WITHIN PROJECT WORK AREA, BY SCRAPING, CLEANING, AND FRIE ALL WALLS OF MASTIC, LOOSE PAINTS, MISC. FASTENERS, HOOKS, TACKS, STAPLES, HONEYCOMBING, ETC. NOTE EXISTING CONDUIT, PIPES AND ELECTRICAL SCHEDULED TO BE DEMOLISHED ARE TO BE REMOVED AND CAPPED TO WITHIN WALL CAVITY OR ABOVE FINISHED CEILING. FLASH PATCH HOLES RESULTING FROM DEMOLITIONS, ALL PREPARATORY WORKS SHALL BE TO THE SATISFACTION OF THE MANUFACTURERS STANDARDS FOR THE NEW PRODUCT.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL OF THE A STRUCTURAL ENGINEER.
- ALL INTERIOR PARTITIONS SHOWN AS DASHED ARE TO BE REMOVED AND DISPOSED IN THEIR ENTIRETY.
- THE LIST OF DEMOLITION KEY NOTES IS GENERAL IN NATURE AND INCLUDED FOR THE CONTRACTOR'S CONVENIENCE. ALL DEMOLITION REQUIRED FOR THE WORK INCLUDES, BUT IS NOT LIMITED TO THOSE AREAS NOTED BY DEMOLITION KEY NOTES.
- PRIOR TO COMMENCEMENT OF ANY WORK ALL LEAD & ASBESTOS TESTING SHALL BE PERFORMED BY OWNER.

**NOTE: ALL MEP SCOPE IS DESIGN-BUILD BY OWNER. GC TO ADHERE TO ALL APPLICABLE CODES, EXG FIRE ALARM SYSTEM TO REMAIN DURING ALL DEMOLITION & CONSTRUCTION. GC TO COORDINATE WITH AND FOR FIRE ALARM MODIFICATIONS.**

**OWNER'S ELECTRICAL CONTRACTOR TO COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS SUBMISSION**

**KEYNOTES: DEMOLITION**

- DEMOL EXG WALL, INFILL AND ALL ASSOCIATED COMPONENTS
- DEMOL DOOR, FRAME AND ALL ASSOCIATED COMPONENTS
- DEMOL CEILING AND ALL FRAMING TO UNDERSIDE OF STRUCTURE/DECK
- DEMOL FINISH FLOORING DOWN TO SUBSTRATE. REMOVE ALL MASTICS AND FASTENERS TO LEVEL SURFACE
- DEMOL PLUMBING FIXTURE AND CAP BACK AT SOURCE. GC TO COORDINATE IN FIELD AS REQ'D
- DEMOL WALLS FINISHES AND ACCESSORIES. PREP WALL FOR NEW FINISH
- DEMOL WALL AS REQ'D FOR NEW WINDOW, COORDINATE OPENING SIZE WITH WINDOW SHOP DRAWING
- DEMOL ALL LIGHTING, SWITCHING AND POWER BACK TO SOURCE. GC TO COORDINATE DIRECT WITH OWNER FOR ALL ELEC DEMOLITION. GC TO COORDINATE ALL PANEL MODIFICATIONS AND SERVICES WITH OWNER.
- DEMOL ALL MILLWORK, FURNITURE, ACCESSORIES, WINDOW TREATMENT AND EQUIPMENT
- DEMOL AWNING & ADDITIVE ROOF BACK TO EXTERIOR WALL. REMOVE ALL FASTENERS AND SIGNAGE
- DEMOL EXG STOREFRONT DOOR AND PREP EXG FRAME FOR PANEL INFILL
- DEMOL EXG STOREFRONT BAY AND KNEE WALL IN PREP FOR NEW OPENING

- DEMOL EXG FLOOR FOR PROPOSED PLUMBING FIXTURES AS REQ'D. GC TO COORDINATE WITH OWNER AND PROPOSED LAYOUT
- DEMOL & CLEAN ADJACENT SITE AS REQ'D PER OWNER DIRECTION
- DEMOL STAIR IN ITS ENTIRETY, PREP FOR FLOOR INFILL
- DEMOL EXTERIOR DOOR TO ROUGH OPENING, PREP FOR INFILL
- DEMOL EXTERIOR DOOR IN PREP FOR 1:1 REPLACEMENT
- SCRAPE, CLEAN & PREP EXTERIOR WALL FOR NEW PAINT FINISH

- - - - - DEMOLISH  
 ———— EXISTING  
 AREA OF DEMOLITION  
 # REFER TO KEYNOTE  
 # TYP REFER TO KEYNOTE, TYPICAL NOTE

CLIENT  
 495 INVESTMENTS LLC  
 2817 NE 35 ST  
 FORT LAUDERDALE, FL 33306

ARCHITECT  
**ZDS**  
 ZDS inc.  
 2 CHARLES STREET, SUITE A1  
 PROVIDENCE, RI 02904  
 +1.401.680.6599  
 1405 RHODE ISLAND AVENUE NW  
 WASHINGTON, DC 20005  
 +1.202.660.0555



CONSULTANT

PROJECT NAME  
**ATWOOD SALON**

495 ATWOOD AVENUE  
 CRANSTON, RI 02920

PROJECT NO. 22191  
 THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE

**PERMIT SET**

ISSUED DATE: NOVEMBER 13, 2023

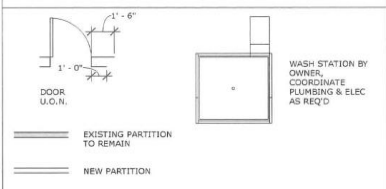
SHEET TITLE  
**DEMO IMAGES**

DRAWING NO.  
**D1.10**

**PLAN NOTES:**

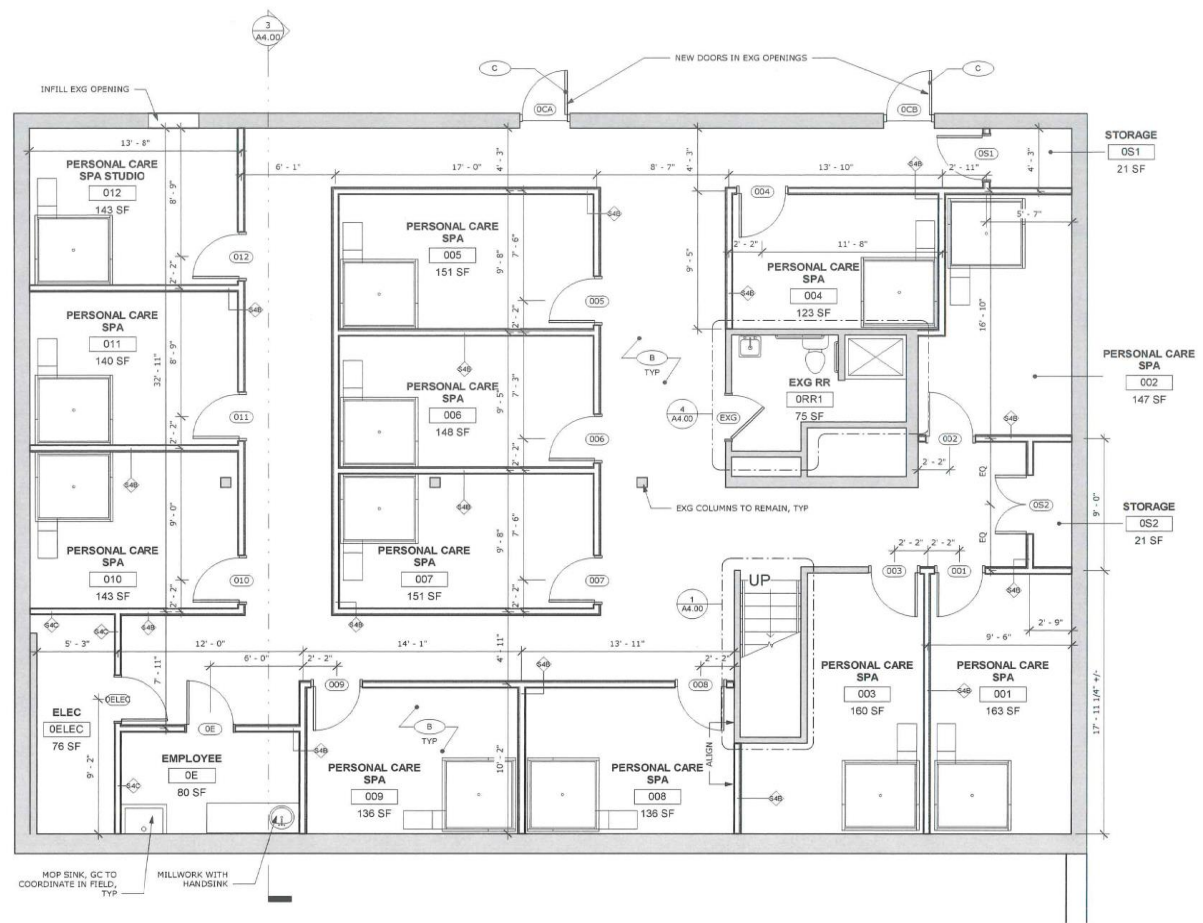
1. ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. SEE WALL TYPE PAGE FOR WALL CONSTRUCTION.
3. ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N. REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
6. CONTRACTOR IS RESPONSIBLE FOR CARRYING FURNISHING/EQUIPMENT, ELECTRICAL JUNCTION BOXES AT EXISTING-TO-REMAIN MASONRY WALLS.
7. ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETS, MILLWORK & PLUMBING FIXTURES.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP). PATCH & PREP ALL WALLS, FLOORS & ADJACENT CONSTRUCTION AFFECTED BY DEMOLITION FOR NEW WORK.
11. DIMENSIONS
  - A. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN-FIELD. DRAWINGS ARE NOT TO BE SCALED. VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION.
  - C. NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
  - D. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
  - E. ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
12. MEP&P WORK TO BE DESIGN/BUILD:
  - A. MECHANICAL - SEE OWNER FOR DIRECTION, CONTRACTOR TO INSTALL ELECTRICAL - REFER TO PLANS/OPS FOR LIGHTING. FINAL LOCATIONS TO BE COORDINATED & APPROVED BY OWNER/ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
  - C. FIRE ALARM - PER CODE, THE BUILDING SHALL BE PROTECTED w/ AUTOMATIC FIRE DETECTION & NOTIFICATION SYSTEM. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
  - D. PLUMBING - REFER TO PLANS & SCOPE OF WORK FOR FIXTURES, LOCATIONS, ETC. CONTRACTOR SHALL PROVIDE INTENT OF WATER & SANITARY PIPING DRAWINGS FOR REVIEW & APPROVAL. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS FOR REVIEW & APPROVAL.

**PLAN LEGEND:**



**PLAN KEYNOTES:**

- A FUTURE LOCATION OF PORTABLE WASH STATION. PLUMBER TO COORDINATE WITH OWNER FOR INFRASTRUCTURE
- B NEW FLOOR FINISH OVER EXG SUBFLOOR
- C KEYPAD & POB CONTROL AT EACH EXTERIOR DOOR
- D INDIVIDUAL SWITCHING WITH EACH STUDIO TENANT - LIGHT AND FAN TO BE ON SEPARATE SWITCH
- E INSTALL ELEC & PLUMBING FOR FUTURE STUDIO LAYOUTS AS REQ'D



1 LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

PLOT CREATED: 11/13/2023 11:49:53 AM

CLIENT  
495 INVESTMENTS LLC  
2817 NE 35 ST  
FORT LAUDERDALE, FL 33306

ARCHITECT  
**ZDS**  
ZDS inc.  
2 CHARLES STREET, SUITE A1  
PROVIDENCE, RI 02904  
+1.401.680.6699  
1405 RHODE ISLAND AVENUE NW  
WASHINGTON, DC 20005  
+1.202.606.0555



CONSULTANT

PROJECT NAME  
**ATWOOD SALON**

495 ATWOOD AVENUE  
CRANSTON, RI 02920

PROJECT NO. 22191  
THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

NO.	DESCRIPTION	DATE

**PERMIT SET**

ISSUED DATE: NOVEMBER 13, 2023

SHEET TITLE  
**LOWER LEVEL FLOOR PLAN**

DRAWING NO.  
**A1.00**



CLIENT  
 495 INVESTMENTS LLC  
 2817 NE 35 ST  
 FORT LAUDERDALE, FL 33306

ARCHITECT  
**ZDS**  
 ZDS inc.  
 2 CHARLES STREET, SUITE A1  
 PROVIDENCE, RI 02904  
 +1.401.680.6699  
 1405 RHODE ISLAND AVENUE NW  
 WASHINGTON, DC 20005  
 +1.202.660.0555



CONSULTANT

PROJECT NAME  
**ATWOOD SALON**  
 495 ATWOOD AVENUE  
 CRANSTON, RI 02920

PROJECT NO. 22191  
 THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

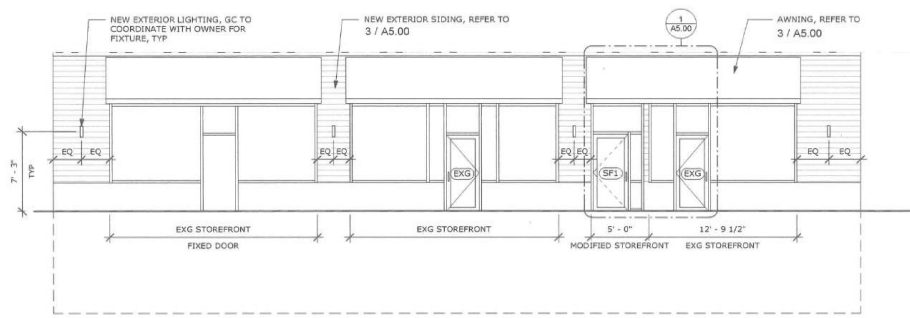
NO.	DESCRIPTION	DATE

**PERMIT SET**

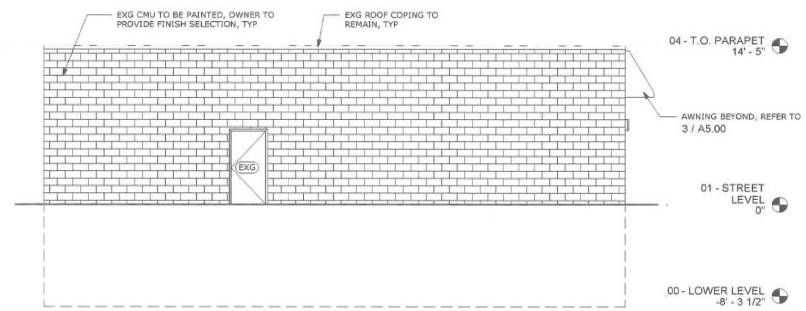
ISSUED DATE: NOVEMBER 13, 2023

SHEET TITLE  
**EXTERIOR ELEVATIONS**

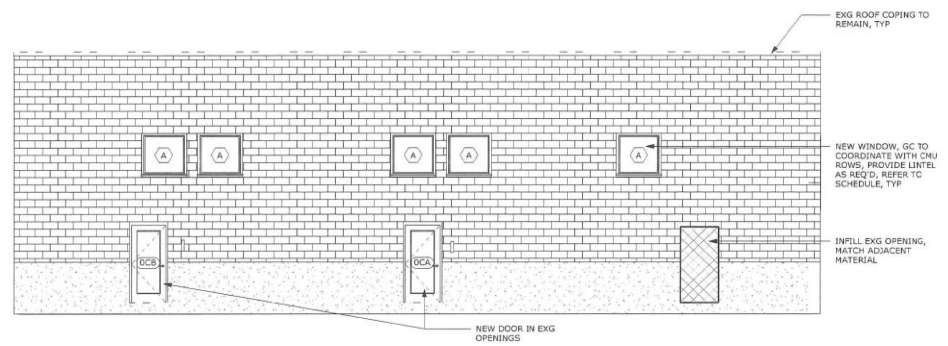
DRAWING NO.  
**A3.00**



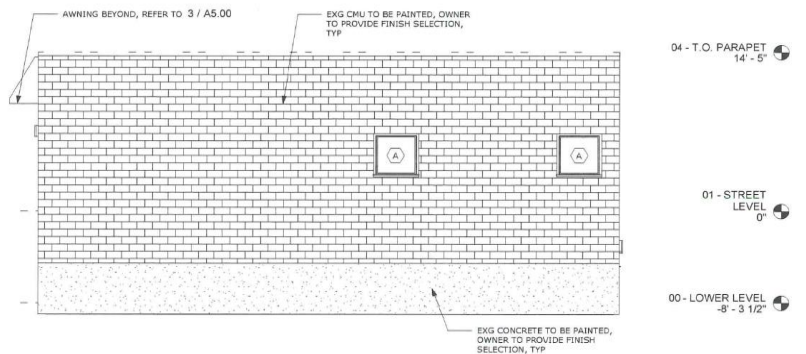
1 WEST ELEVATION  
 3/16" = 1'-0"



2 NORTH ELEVATION  
 3/16" = 1'-0"



3 EAST ELEVATION  
 3/16" = 1'-0"



4 SOUTH ELEVATION  
 3/16" = 1'-0"





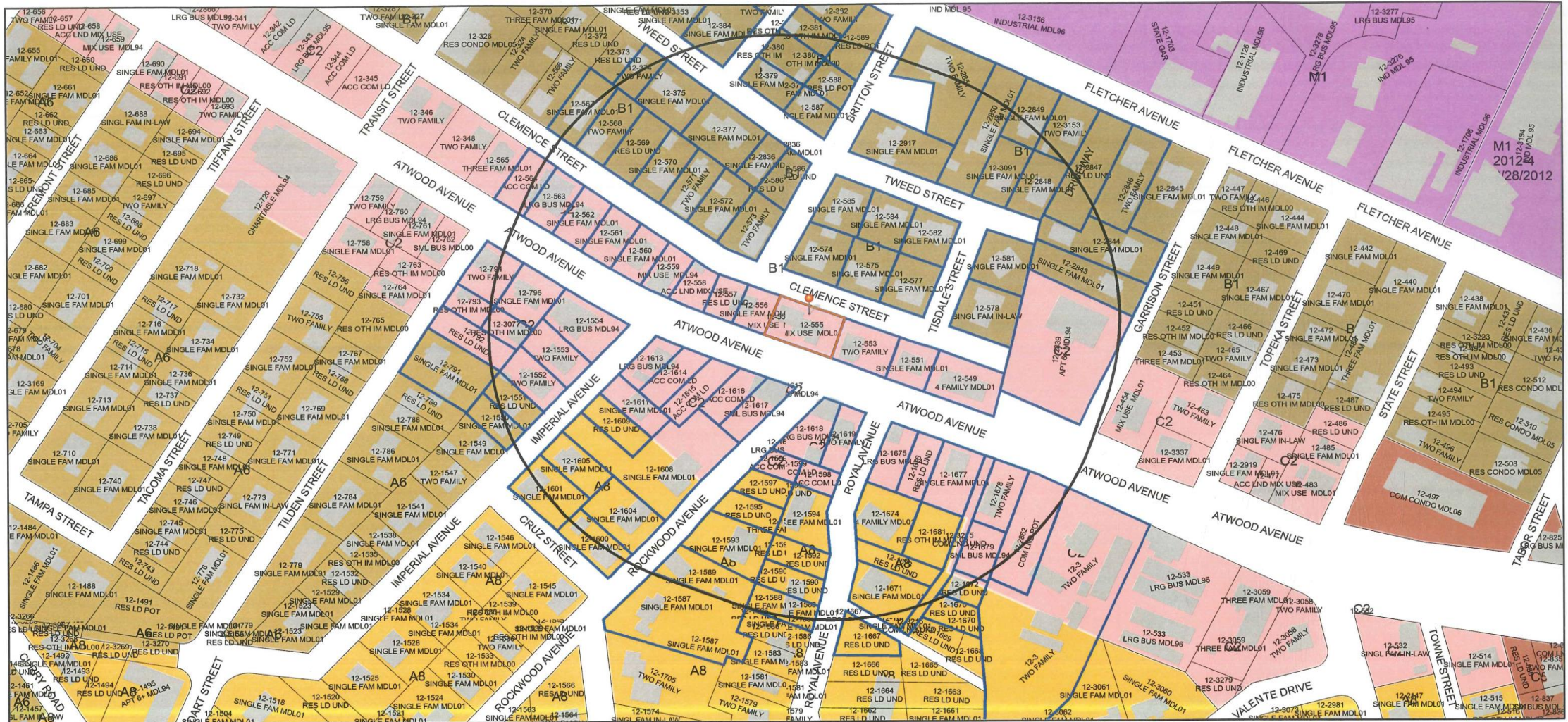
► **Ward 5**

► **FLAGSHIP PROPERTIES, LLC. (OWN) and JOHN TURCHETTA (APP)** have filed an application to request permission to convert an existing single-family home into a two-family home on an under-sized lot at **763 Atwood Avenue**, A.P. 12, lot 555, area 6,250 sf; zoned C2. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.120- Schedule of Intensity Regulations.

► Application filed 2/20/2024. Alfred A. Russo Jr., Esq.



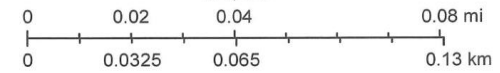
# 763 Atwood Ave 400' Radius Plat 12 Lot 555



2/6/2024, 8:43:24 AM

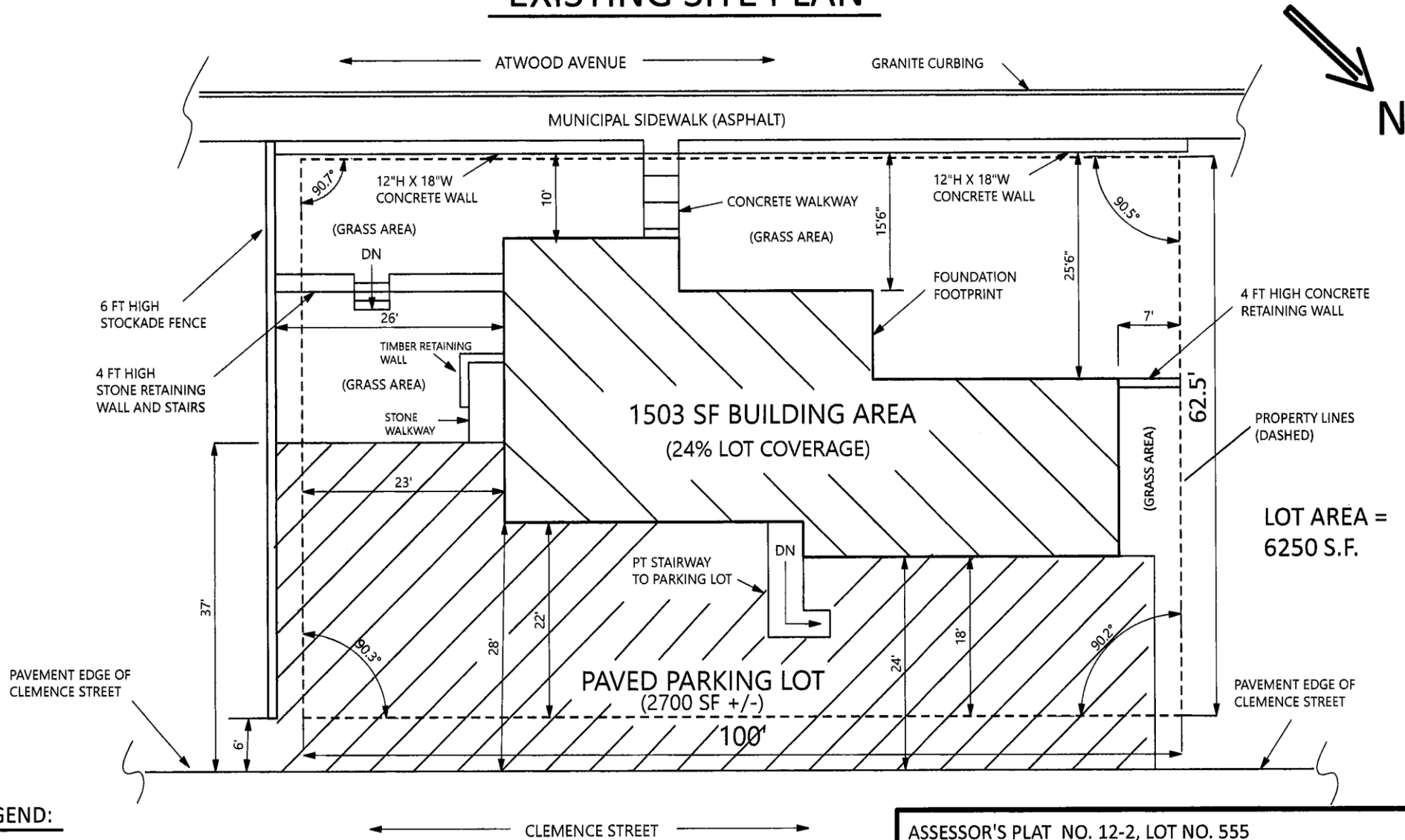
1:1,697

- Selected Parcels in Buffer  Parcels
- Selected Parcels  Buildings
- Parcels In Buffer  Zoning Dimensions
- Parcel ID Labels + Historic Overlay District
- Streets Names — Zoning
- Cranston Boundary  none
- A80
- A20
- A12
- A6
- B1
- B2
- B3
- C1
- C2
- C3
- C4
- C5
- M1
- M2
- EI
- MPD
- S1
- Other





City of Cranston

# EXISTING SITE PLAN



## LEGEND:

-  = PAVED PARKING LOT
-  = EXISTING BUILDING ENVELOPE

ASSESSOR'S PLAT NO. 12-2, LOT NO. 555  
 OWNER: FLAGSHIP PROPERTIES LLC  
 ADDRESS: 76 SUNDALE RD, CRANSTON, RI 02921  
 PHONE: (401) 327-1930  
 DRAWN BY: JOHN M. TURCHETTA, P.E., DATE 2/16/24  
 DWG. SCALE: 3/32"=1'-0"

763 ATWOOD AVENUE, CRANSTON, RI 02920

12"X30" SLIDING WINDOW UNIT

Atwood Avenue Side

12"X34" SLIDING WINDOW UNIT

Closet

Bath Rm

Utility Room

Gas Boiler

HW Tank

Masonry Chimney

Bed Room  
12'X13'

Concrete Foundation

Owners  
Garage  
Storage

Owners  
Garage  
Storage

Living Room

Kitchen

32"X80" Entry  
Door

7'X8' Garage  
Door

7'X8' Garage  
Door

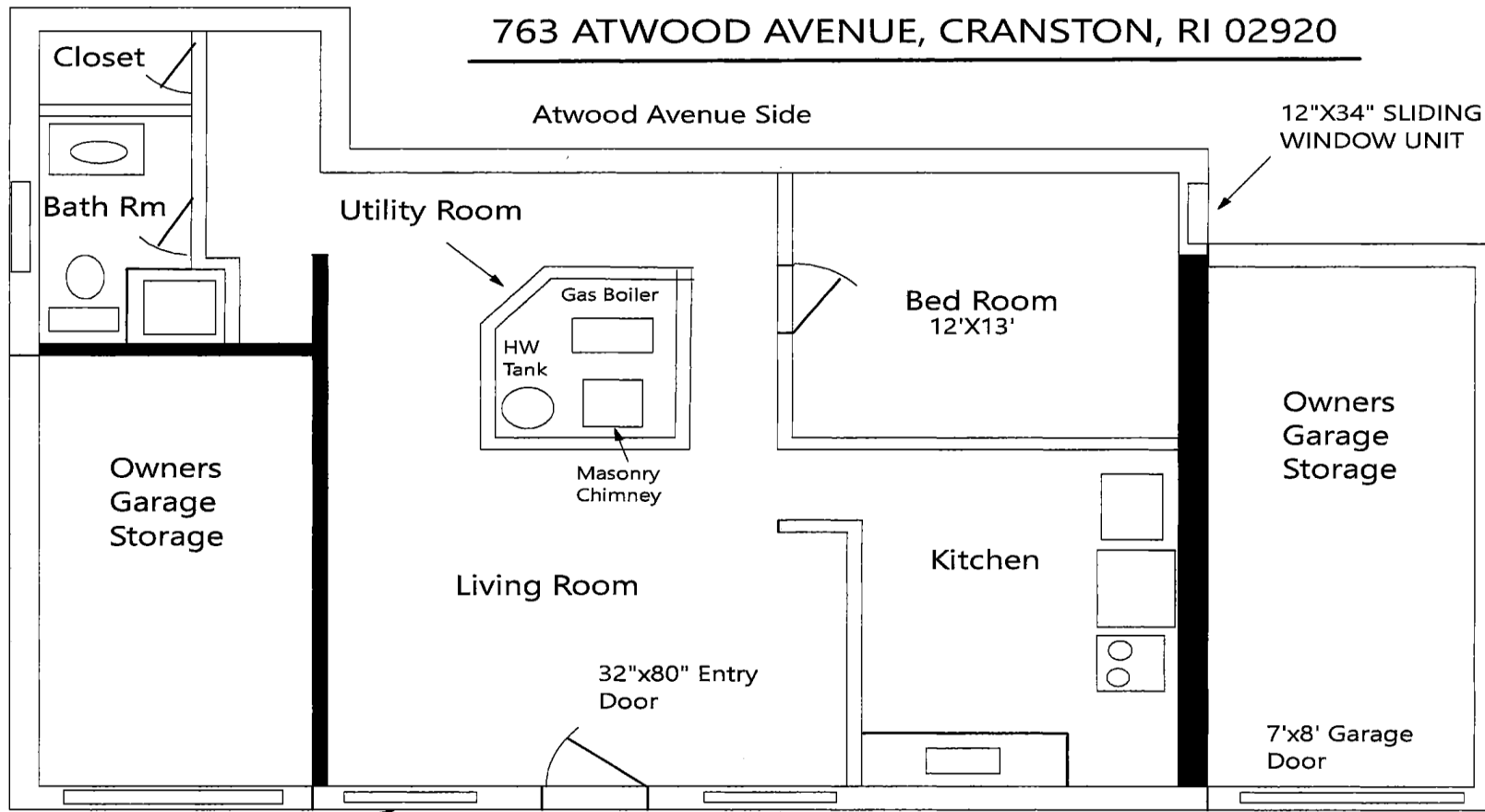
32"X48" double  
hung window

32"X48" double  
hung window

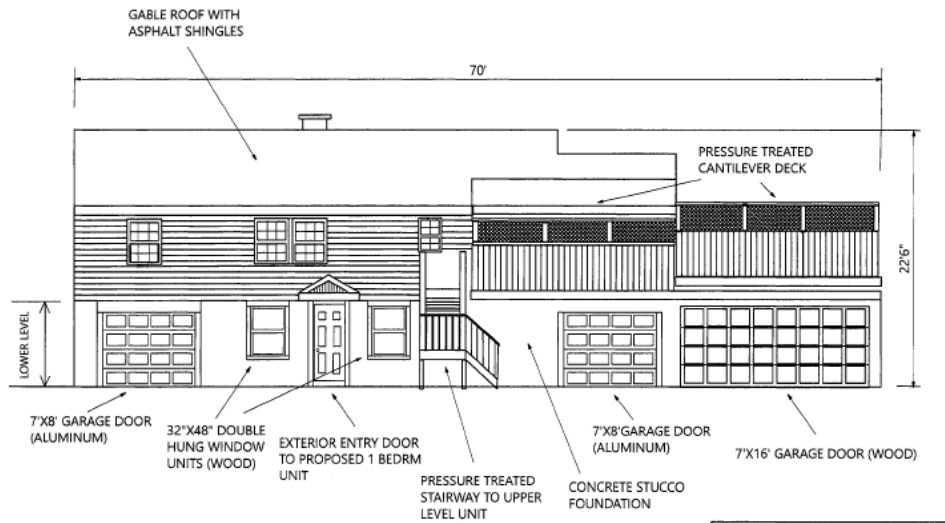
(700 sf +/- Total Living Space)

LOWER LEVEL FLOOR PLAN

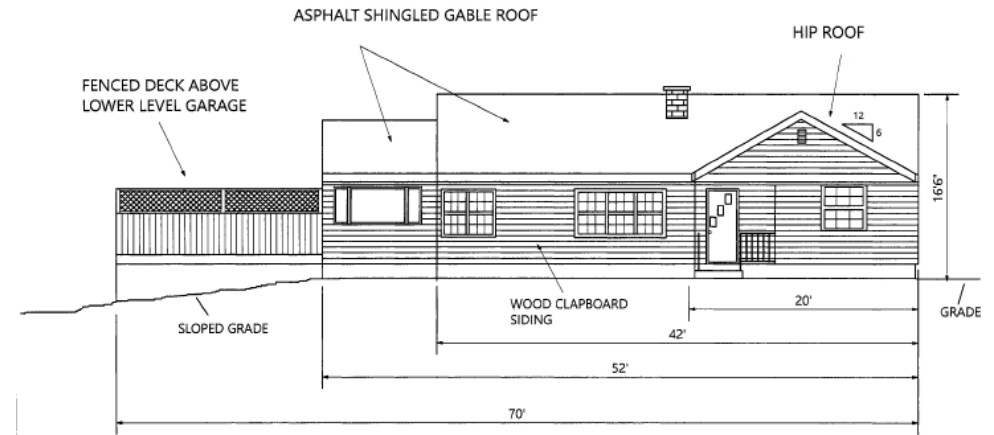
SCALE: 1/4"=1'-0"



**REAR ELEVATION VIEW**  
(EXISTING)

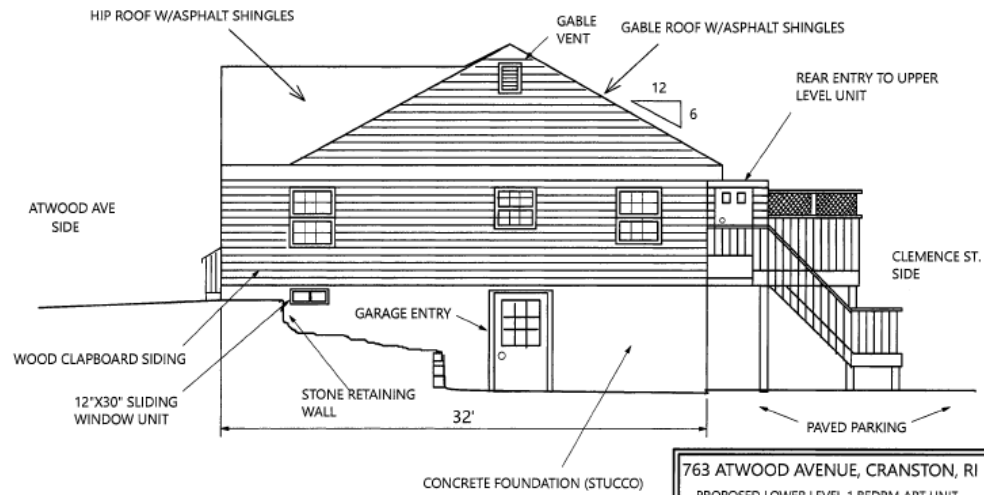


**FRONT ELEVATION VIEW**  
(EXISTING)



### RIGHT SIDE ELEVATION VIEW

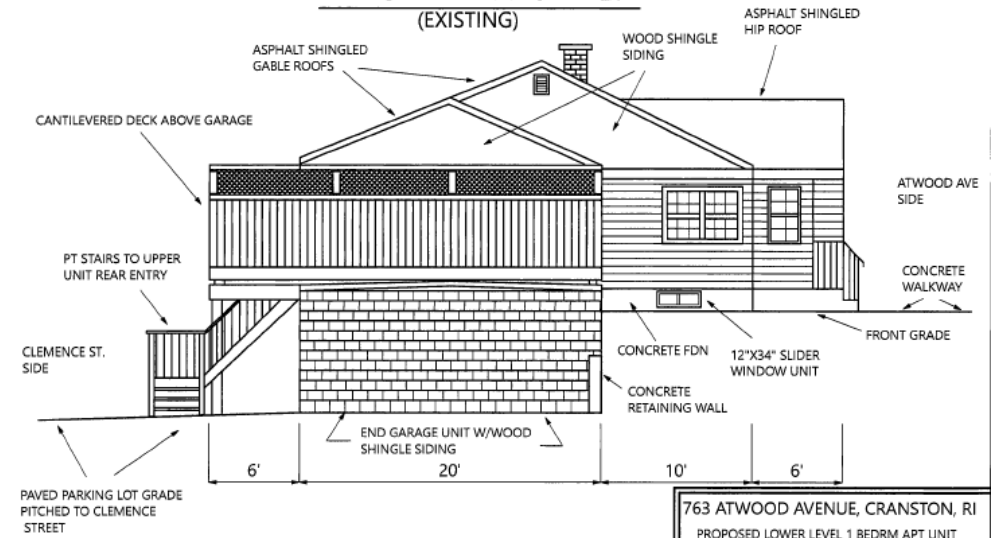
(EXISTING)



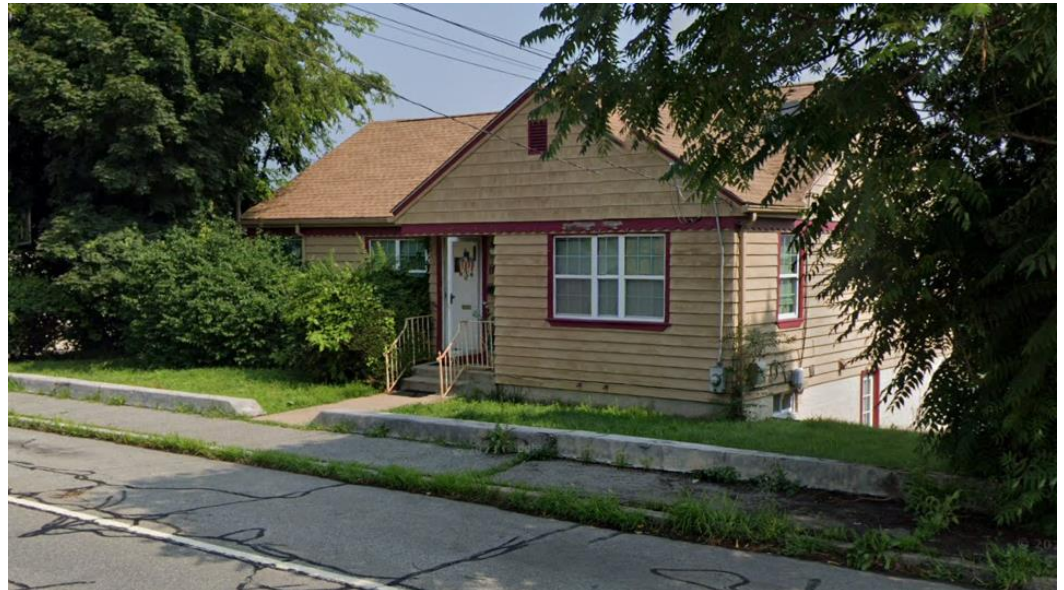
763 ATWOOD AVENUE, CRANSTON, RI  
 PROPOSED LOWER LEVEL 1 BEDRM APT UNIT  
 Drawn By: John M. Turchetta, P.E.  
 Scale: 1/4"=1'-0"

### LEFT SIDE ELEVATION VIEW

(EXISTING)



763 ATWOOD AVENUE, CRANSTON, RI  
 PROPOSED LOWER LEVEL 1 BEDRM APT UNIT  
 Drawn By: John M. Turchetta, P.E.  
 Scale: 1/4"=1'-0" DATE: 2/14/2024



► **Ward 3**

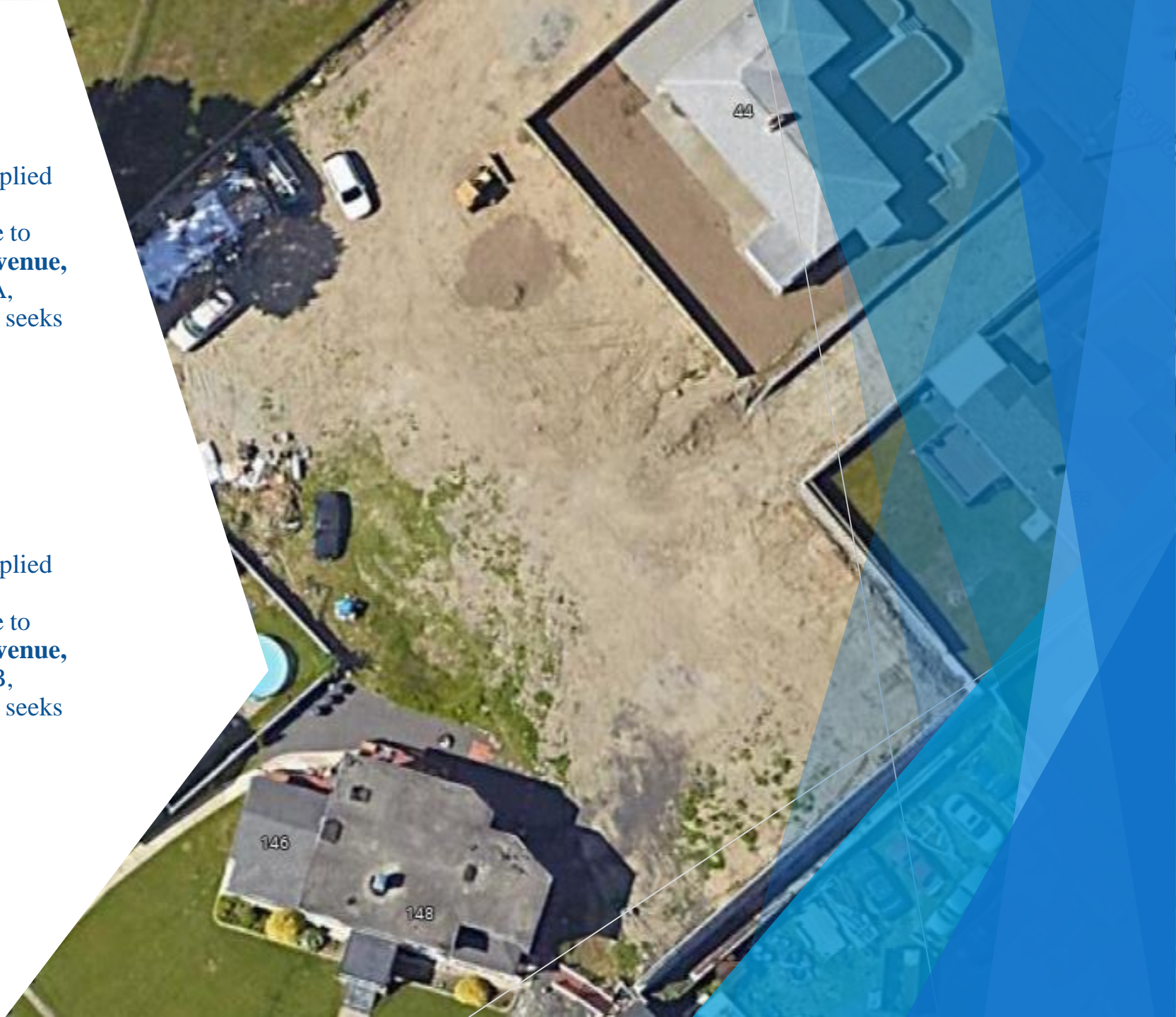
► **AA&E PROPERTIES, LLC. (OWN/APP)** has applied to the Board to request permission to sub-divide four existing lots and create two lots with reduced frontage to construct a new two-family dwelling at **0 Pavillion Avenue**, A.P. 7, lots 3363,3366,3644, & 3814 (A.K.A. Parcel A, A.P.7, Lot 3644), area 13,237 sf; zoned B1. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.120- Schedule of Intensity Regulations.

► Application filed 2/29/2024. Julissa Arce, Esq.

► **Ward 3**

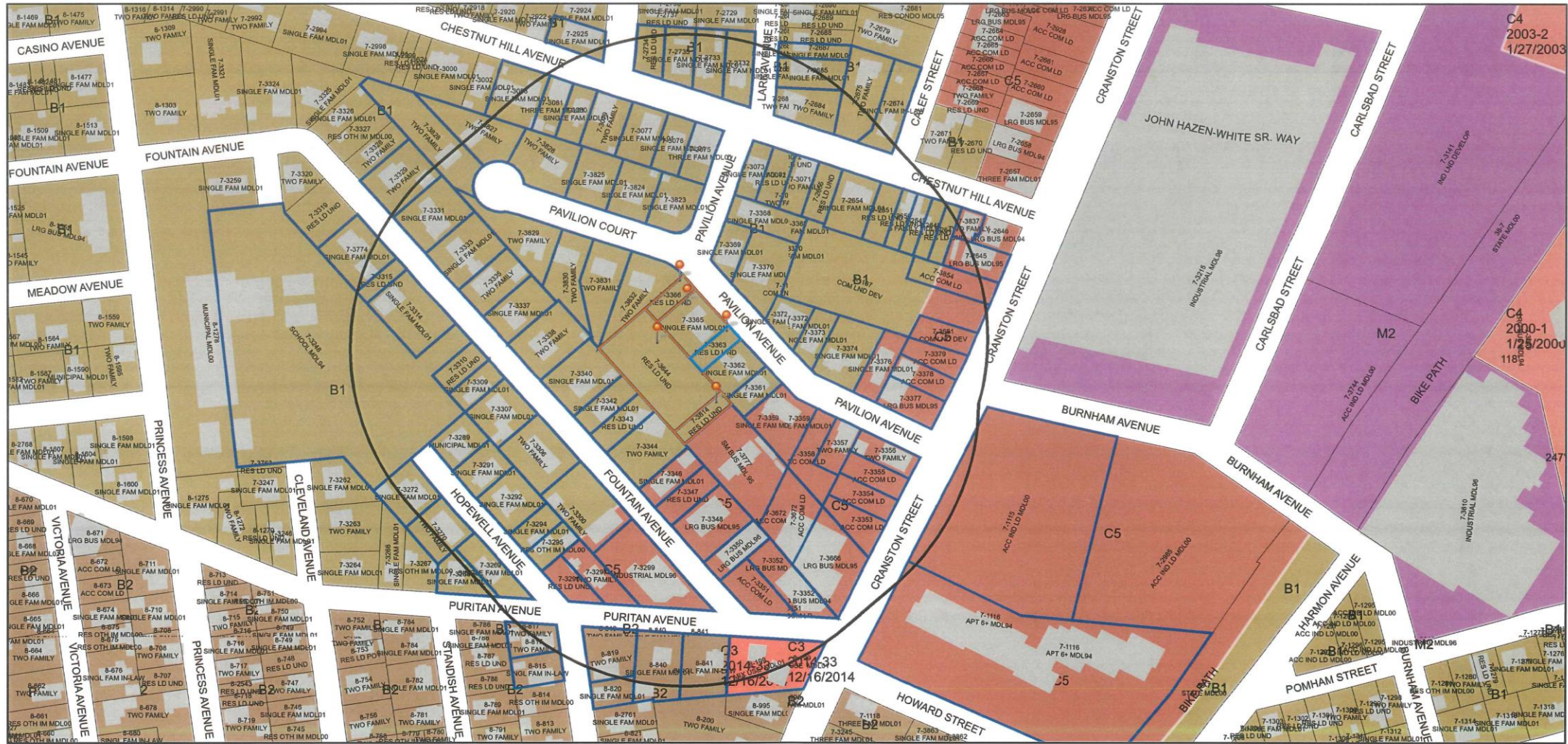
► **AA&E PROPERTIES, LLC. (OWN/APP)** has applied to the Board to request permission to sub-divide four existing lots and create two lots with reduced frontage to construct a new two-family dwelling at **0 Pavillion Avenue**, A.P. 7, lots 3363,3366,3644, & 3814 (A.K.A. Parcel B, A.P.7, Lot 3644), area 13,237 sf; zoned B1. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.120- Schedule of Intensity Regulations.

► Application filed 2/29/2024. Julissa Arce, Esq.





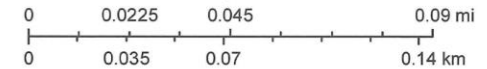
# 44 Pavillion Ave 400' Radius Plat 7 Lot 3365, etc



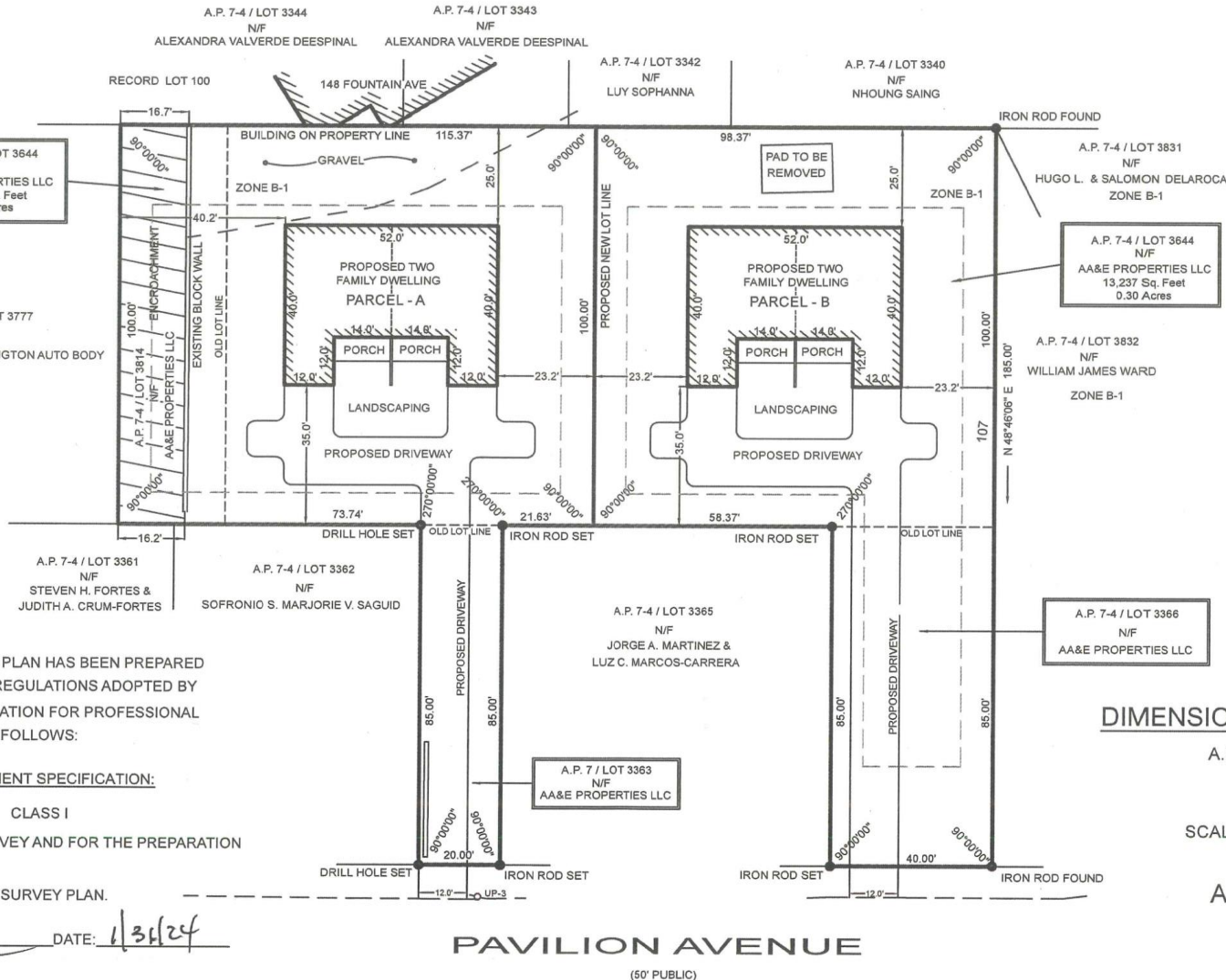
2/22/2024, 8:24:00 AM

- Selected Parcels in Buffer  Parcels
  - Selected Parcels  Buildings
  - Parcels In Buffer  Zoning Dimensions
  - Parcel ID Labels 1234 Historic Overlay District
  - Streets Names Pavilion Avenue Zoning
  - Cranston Boundary  none
- |     |    |       |
|-----|----|-------|
| A80 | B2 | M1    |
| A20 | C1 | M2    |
| A12 | C2 | EI    |
| A8  | C3 | MPD   |
| A6  | C4 | S1    |
| B1  | C5 | Other |

1:1,891



City of Cranston



LOCUS MAP

**ZONING DISTRICT B-1**  
SINGLE FAMILY

- MINIMUM LOT AREA: 6,000 S.F.
- MINIMUM LOT FRONTAGE: 60 FT.
- MINIMUM SETBACKS: FRONT: 25 FT.
- SIDE: 8 FT.
- REAR: 20 FT.
- MAXIMUM STRUCTURE HEIGHT: 35 FT.
- MAXIMUM LOT COVERAGE: 35%

**SURVEY CLASSIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

**TYPE OF BOUNDARY SURVEY:** LIMITED CONTENT BOUNDARY SURVEY      **MEASUREMENT SPECIFICATION:** CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH A DIMENSIONAL CONFORMANCE SURVEY PLAN.

BY: Richard T. Bzdrya      DATE: 1/31/24

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

**REFERENCE:**

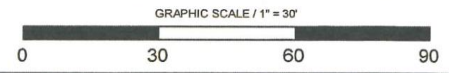
1. DEED BK. 6426 / PG. 13
2. "POTTER HOMESTEAD PLAT CRANSTON, R.I. THE PROVIDENCE REAL ESTATE IMPROVEMENT COMPANY BY FRANK E. WATERMAN DECEMBER 1915" PLAT CARD 221

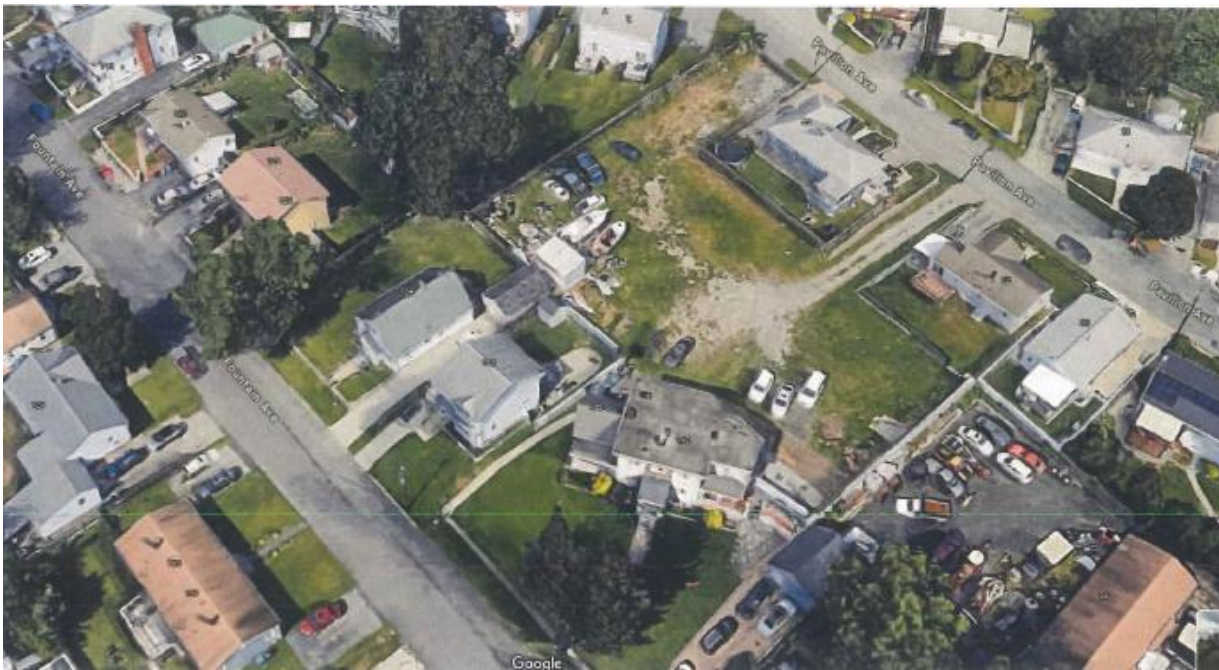
**DIMENSIONAL CONFORMANCE SURVEY**

A.P. 7 / LOTS 3363, 3366, 3644 & 3814  
PAVILION AVENUE  
CRANSTON, R.I.  
SCALE: 1"=30'      DATE: JANUARY 24, 2024

PREPARED FOR:  
**AA&E PROPERTIES, LLC**  
688 PRAIRIE AVENUE  
PROVIDENCE, R.I. 02905

PREPARED BY:  
**OCEAN STATE PLANNERS, INC.**  
1255 OAKLAWN AVENUE, CRANSTON, RI 02920  
PHONE: (401) 463-9696    info@osplanners.com  
JOB NO. 10410 / DWG. NO. 10410 - (JNP)





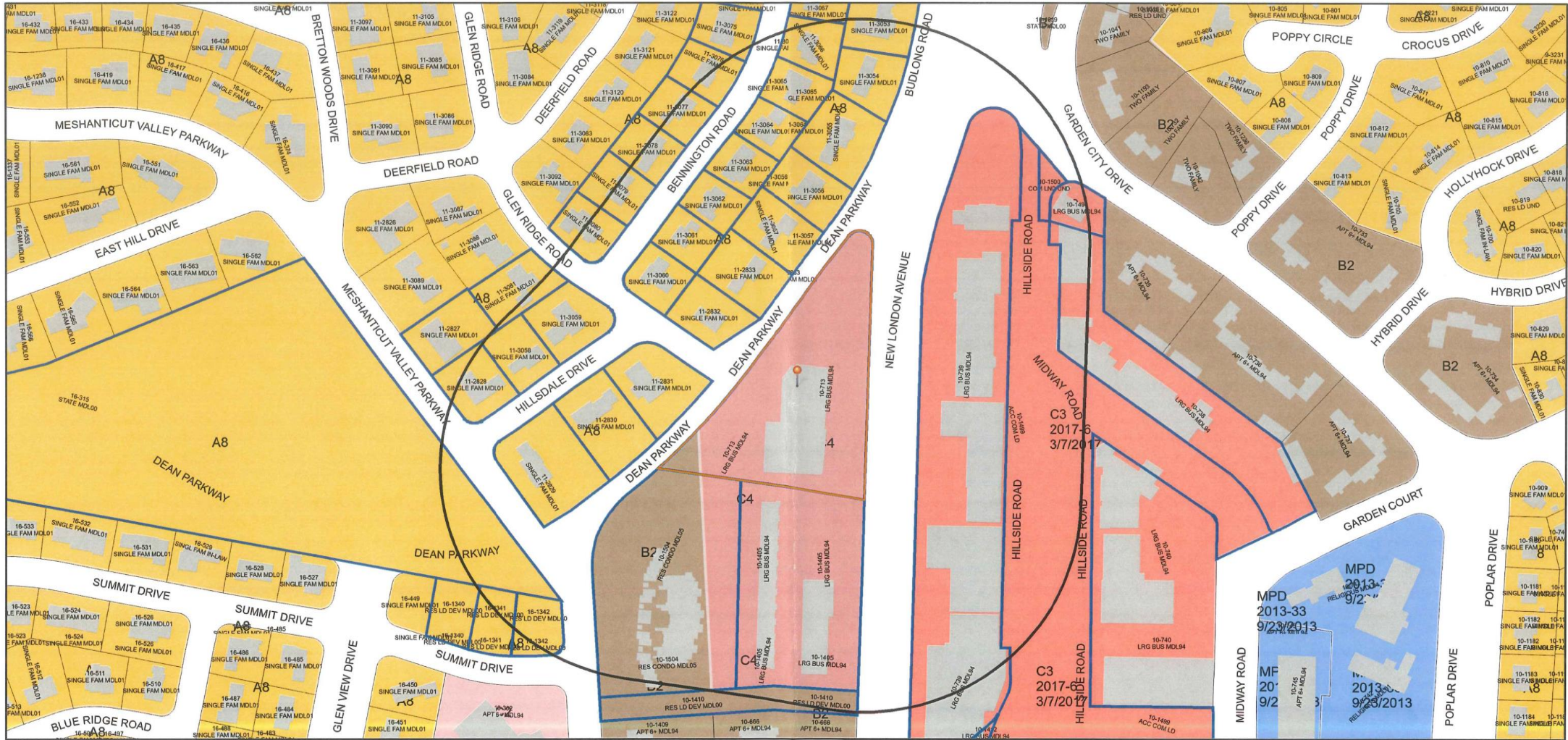
► **Ward 6**

► **ARVEE, LLC. (OWN) and MAINELY TUBS (APP)** have applied to the Board to request permission to install signage greater than which is allowed by regulations at **1 New London Avenue**, A.P.10, lot 713, area 87,120 sf.; zoned C4. Applicant seeks relief per Section 17.92.010- Variances; Section 17.72.010- Signs.

► Application filed 3/8/2024. Robert D. Murray, Esq.

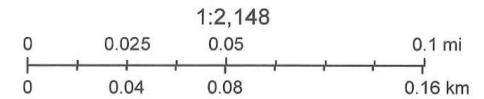


# 1 New London Ave 400' Radius Plat 10 Lot 713

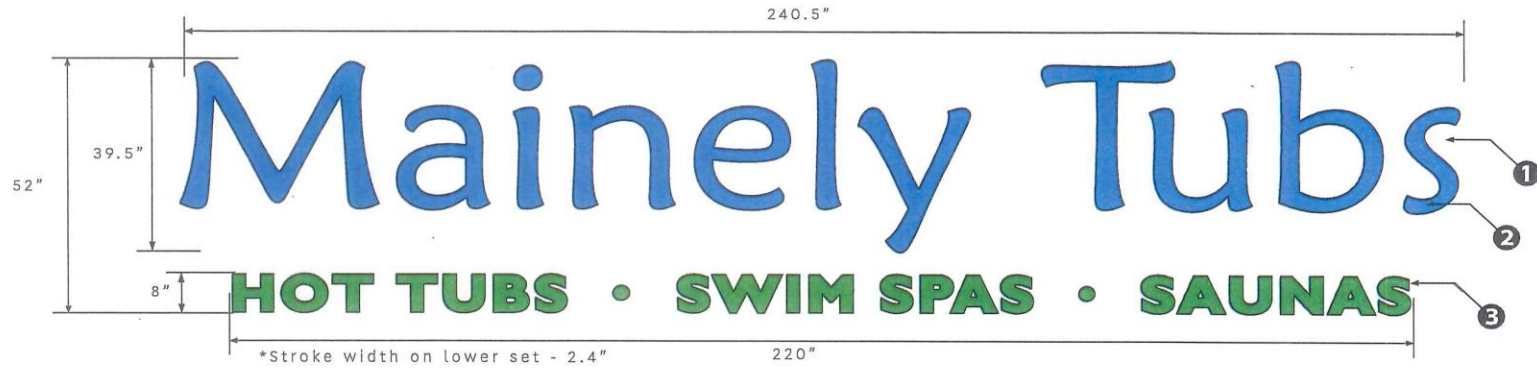


3/8/2024, 8:57:37 AM

- |                            |                             |     |    |       |
|----------------------------|-----------------------------|-----|----|-------|
| Selected Parcels in Buffer | □ Parcels                   | A80 | B2 | M1    |
| Selected Parcels           | ■ Buildings                 | A20 | C1 | M2    |
| Parcels In Buffer          | ▭ Zoning Dimensions         | A12 | C2 | EI    |
| Parcel ID Labels           | ⚡ Historic Overlay District | A8  | C3 | MPD   |
| Streets Names              | <b>Zoning</b>               | A6  | C4 | S1    |
| — Cranston Boundary        | none                        | B1  | C5 | Other |



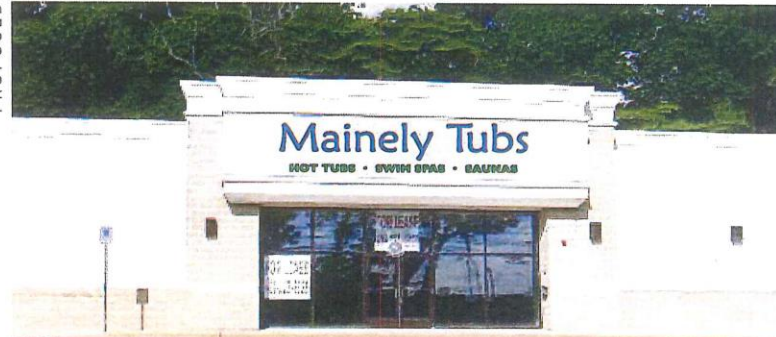
City of Cranston



ISOMETRIC  
DETAIL

**Mainely Tubs**  
HOT TUBS • SWIM SPAS • SAUNAS

PROPOSED



\*Dark Brown metallic backing to be painted Sherwin Williams White Color – Satin by Coastal Construction. All other trim and façade to remain as-is.

**CHANNEL LETTER SET**

New internally illuminated LED remote channel letter set.

SQUARE FOOTAGE - 86.84ft<sup>2</sup>

QTY: 1

**MATERIALS**

- ① New remote mounted channel letter set with translucent vinyl application to faces.
- ② Translucent vinyl application - 3m® 3630-57 Olympic Blue, 3630-156 Vivid Green.
- ③ "Mainely tubs" 5" deep returns - Black. Tagline 3" deep returns - Black.

**FINISH / COLOR**

- 3m® 3630-57 Olympic Blue
- 3m® 3630-156 Vivid Green
- PANTONE® Black



2 Karen Drive, Stop 4  
Westbrook, Maine 04092  
207.396.6111  
<http://www.burrsigns.com>  
info@burrsigns.com

**Mainely Tubs**  
HOT TUBS • SWIM SPAS • SAUNAS

**CLIENT:**  
Mainely Tubs

**ADDRESS:**  
1 Reservoir Ave.  
Cranston, RI 02920

**PROJECT MANAGER:**  
Drew Serbin  
**DESIGNER:**  
Brandon Crownover  
**DATE:**  
03.05.24

Approved by: \_\_\_\_\_

Date: \_\_\_\_\_

These plans are the exclusive property of Burr Signs and are the result of the original artwork of its employees. They are submitted to Burr Signs' client for the sole purpose of consideration of whether to purchase these plans or to purchase from Burr Signs a sign manufactured according to these plans.

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PROPOSED



**NEW PYLON FACES**  
New faces for existing pylon.

SQUARE FOOTAGE - 32.62ft<sup>2</sup>  
QTY: 2

**MATERIALS**

- 1 New white polycarbonate faces for double sided internally illuminated pylon.
- 2 Translucent vinyl application - 3m® 3630-57 Olympic Blue, 3630-156 Vivid Green.

**FINISH / COLOR**

- 3m® 3630-57 Olympic Blue
- 3m® 3630-156 Vivid Green



2 Karen Drive, Stop 4  
Westbrook, Maine 04092  
207.396.6111  
<http://www.burrsigns.com>  
info@burrsigns.com



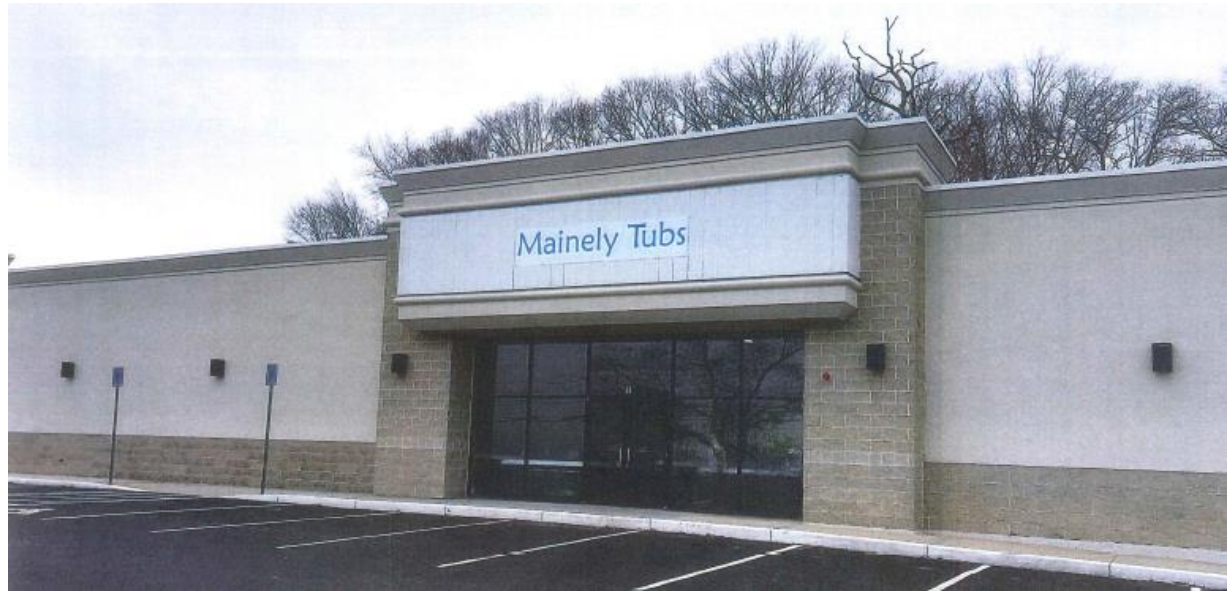
**CLIENT:**  
Mainely Tubs  
**ADDRESS:**  
1 Reservoir Ave.  
Cranston, RI 02920

**PROJECT MANAGER:**  
Drew Serbin  
**DESIGNER:**  
Brandon Crownover  
**DATE:**  
03.05.24

Approved by: \_\_\_\_\_

Date: \_\_\_\_\_

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► **Ward 1**

► **RUSSO FAMILY TRUST (OWN) and JENNIFER MINUTO (APP)** have applied to the Board to expand Aa existing tavern/pub/neighborhood bar use with a reduced number of parking spaces at **2197 Broad Street, A.P. 1, lot 432**; area 4,102 sf.; zoned C3. Applicant seeks relief per Section 17.92.010- Variances; Section 17.64.010- Off-Street Parking.

► Application filed 3/12/2024. Jennifer Minuto, Esq.

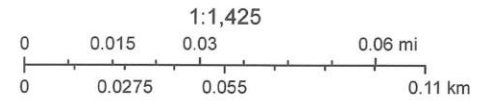


# 2197 Broad St 400' Radius Plat 1 Lot 432



3/13/2024, 8:45:51 AM

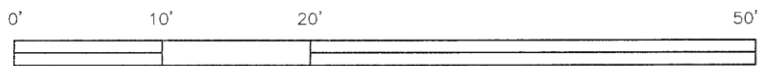
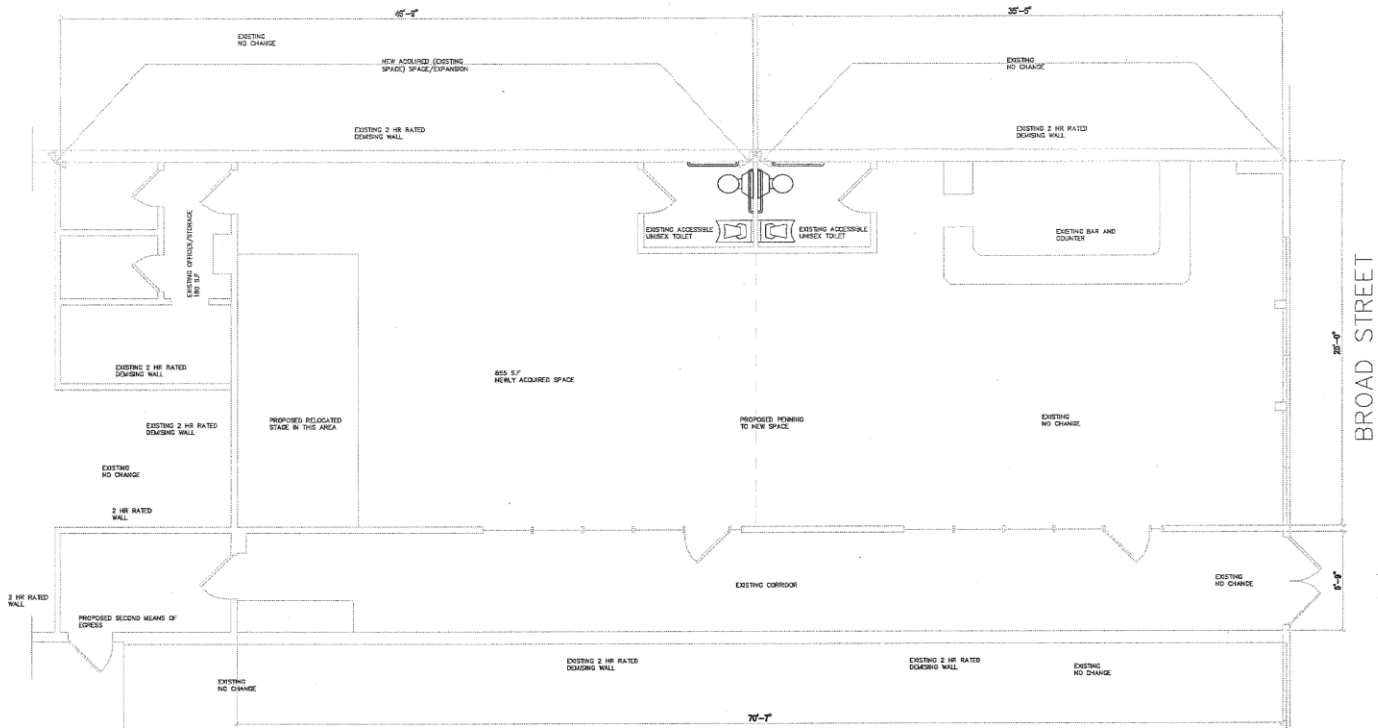
- |                            |   |                           |   |     |   |    |   |       |
|----------------------------|---|---------------------------|---|-----|---|----|---|-------|
| Selected Parcels in Buffer | □ | Parcels                   | ■ | A80 | ■ | B2 | ■ | M1    |
| Selected Parcels           | ■ | Buildings                 | ■ | A20 | ■ | C1 | ■ | M2    |
| Parcels In Buffer          | □ | Zoning Dimensions         | □ | A12 | □ | C2 | □ | EI    |
| Parcel ID Labels           | + | Historic Overlay District | + | A8  | + | C3 | + | MPD   |
| Streets Names              | — | <b>Zoning</b>             | — | A6  | — | C4 | — | S1    |
| —                          | — | none                      | — | B1  | — | C5 | — | Other |



City of Cranston



CREATIVE COCKTAILS, LIVE MUSIC & PERFORMING ARTS



Proposed Floor Plan  
SCALE: 3/8"=1'-0"



Area Map  
SCALE: N.T.S.

Consulting Architect

PROJECT: THE BLUE ROOM  
2197 BROAD STREET  
CRANSTON RI  
OWNER: JENNIFER MINUTO

REVISION / LOCATION	DATE

DATE: \_\_\_\_\_

DRAWING TITLE: PROPOSED LAYOUT

THE BLUE ROOM  
2197 BROAD STREET  
CRANSTON RI

DRAWN BY: S.D.

## THE BLUE ROOM

2197 BROAD STREET, CRANSTON, RHODE ISLAND 02905  
*"in the heart of beautiful Pawtuxet Village"*



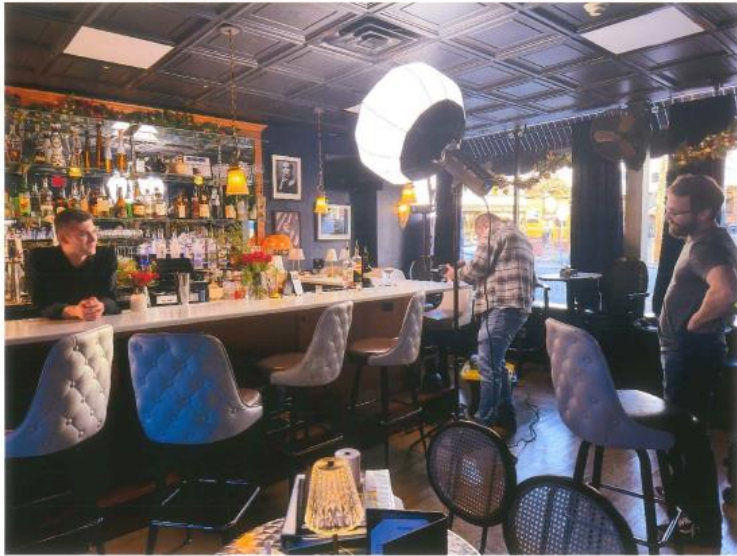
Proposal to expand into Unit #2 (below) for storage needs and extra space for patrons)



Elegant setting and wonderful staff at The Blue Room



NBC Channel 10 News filming at The Blue Room



Craft Cocktails



Pride at The Blue Room



NEWPORT JAZZ FESTIVAL partners with THE BLUE ROOM  
(Tia Fuller, International Touring Artist & Berklee Professor, performs at The Blue Room)



TALENTED MUSICIANS PERFORM AT THE BLUE ROOM

Alexus Lee



Dash Peña



Bay View Academy 15<sup>th</sup> Reunion Celebration



Gaspee Days

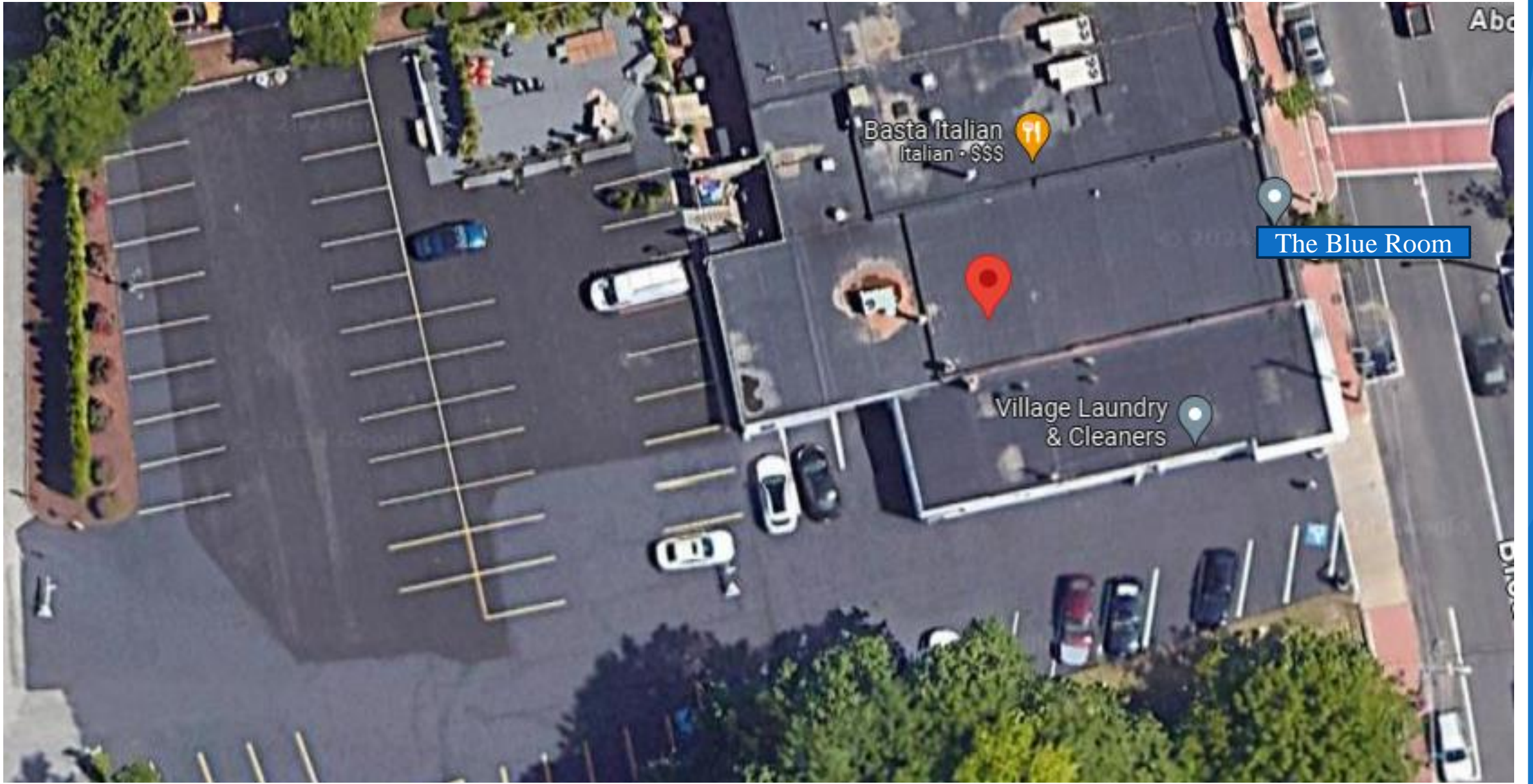


The Blue Room – “Blue Carpet”



I still play the piano sometimes at The Blue Room (but mostly I don't have time)





Basta Italian  
Italian · \$\$\$



The Blue Room

Village Laundry  
& Cleaners

